

	<p style="text-align: center;">Planning and Zoning Commission</p> <p style="text-align: center;">STAFF REPORT</p>	<p style="text-align: center;">AGENDA</p> <p style="text-align: center;"># _____</p>
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TO: CASA GRANDE PLANNING AND ZONING COMMISSION

FROM: James Gagliardi, AICP, City Planner

MEETING DATE: February 5, 2015

REQUEST

Request by Casa Grande Development Group, LLC for the following land use approval on approximately 3.01 acres of land otherwise known as 1988 E Florence Blvd (APN: 505-23-002X):

1. **DSA-14-00192: Major Amendment to a Major Site Plan** for the construction of a 21,702 sq. ft. retail store with approximately 15,000 sq. ft. fenced outdoor storage and display area.

APPLICANT/OWNER

Casa Grande Development Group, LLC 155 W New York Avenue Suite 200 Southern Pines, NC 28388 P: 910-695-3694 Email: gavin@baselinedevelopment.com	Vanderbilt 7500 E McDonald Dr Suite 100A Scottsdale, AZ 85250 P: 303-373-6029
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HISTORY

June 5, 1999:	Ordinance No. 1280 was approved by City Council, annexing the site into the City of Casa Grande as part of the Northeast Annexation.
October 2, 1989:	Initial City Zoning of UR was established via Ordinance No. 1178.18.
January 6, 2005:	CGPZ-015-05, Major Site approval for the Commons at Palm Creek providing for a neighborhood shopping center and restaurant uses.
February 22, 2005:	The current zoning of B-2 was established via Ordinance 1178.218.
November 1, 2007:	Major amendment to approved Major Site Plan for the Commons at Palm Creek revising the approved layout to

remove some retail space and identify the placement of a hotel.

June 7, 2007:

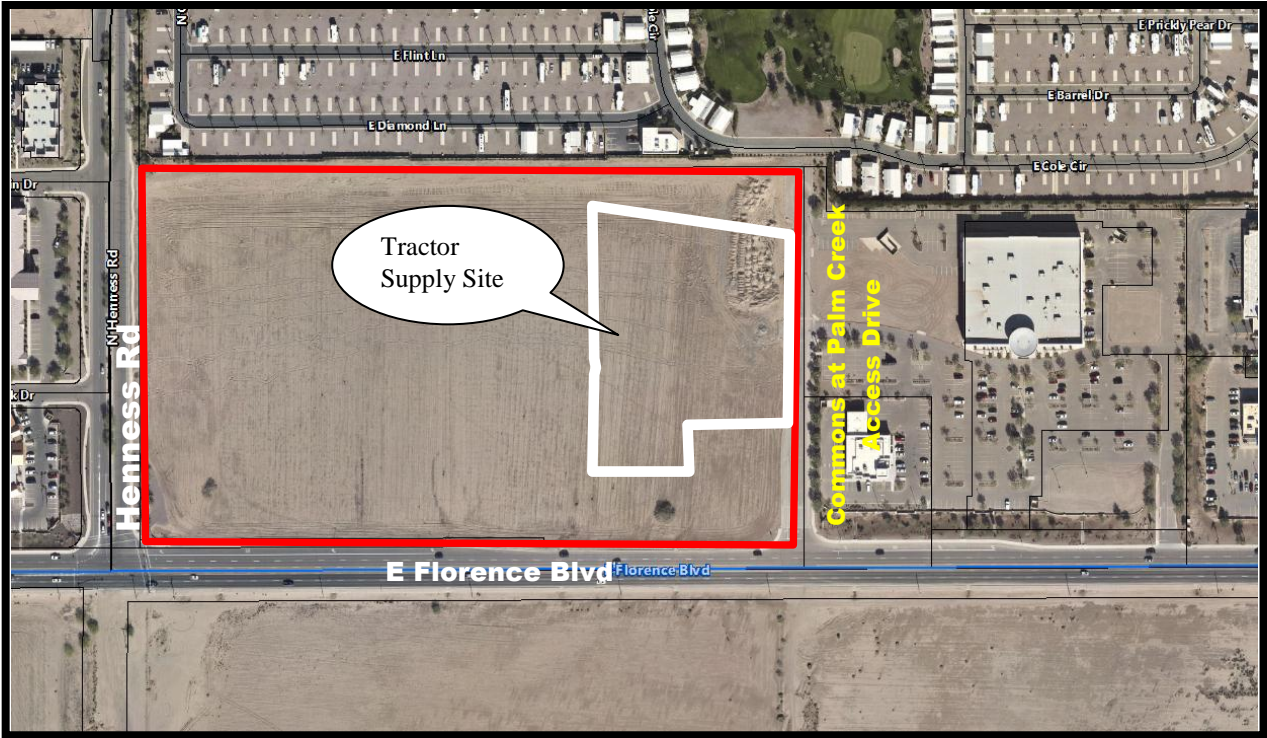
Major amendment to Major Site Plan approved, DSA-07-1387, for the construction of the Commons at Palm Creek, for LA Fitness and attached retail.

PROJECT DESCRIPTION	
Site Area	20.77 acres (of which 3.13 acres will be developed as the site on a separate parcel)
Current Land Use	Community Center (Undeveloped)
Existing Zoning	B-2 (General Business)

Surrounding Land Use and Zoning

Direction	General Plan 2020 Designation	Existing Zoning
North	Neighborhoods	PAD (Palm Creek RV Park)
East	Community Center	B-2
South	Community Center	PAD (Copper Sky Marketplace)
West	Community Center	B-2

SITE CONTEXT AERIAL



General Discussion:

The Applicant is requesting major site plan approval for the construction of the Tractor Supply Company (TSC) retail store (Exhibit A). This farm and ranch supply store is planned to be 21,702 sq. ft. with additional area for outdoor storage, sales and display. On the side of the building, a 15,015 sq. ft. fenced storage area is proposed with a pass-through for the loading of merchandise. A 1,250 sq. ft. hay forage shed also lies within this area. A 6,675 sq. ft. outdoor merchandise display area is planned in front of the building. This 3.13-acre site will be developed out of a larger 20.77-acre parcel that sits between the access driveway west of LA Fitness and Henness Road. The 3.13 acres for Tractor Supply Company will be established as its own parcel with access to Florence via the Commons at Palm Creek access driveway. Areas to the front of the site (south) and to the west are reserved for future B-2 zoned development which would require future major site plan approval prior to development. An area to the north of the store serves as an area for common drainage retention as this block develops.

This request is considered a Major Amendment to a Major Site Plan, because an existing Major Site Plan had been approved for this area in 2007 approving for development of a hotel, retail stores and pad sites. However, that plan has since expired. Major Site Plans expire after one year of their date of approval per Section 17.68.080 of the City Code.

Compliance with Major Site Plan Review Criteria

Section 17.68.070 of the Zoning Code sets forth various review criteria that need to be evaluated in conjunction with the consideration of a Major Site Plan application. Staff's analysis of how the proposed Major Site Plan complies with each of these criteria is as follows:

1. Relationship of the plan elements to conditions both on and off the property

The site gains its access from a 55 ft.-wide driveway that comes off of E Florence Blvd. Not only is this drive poised to serve Tractor Supply Company, but serves as the primary entrance for Vantage Bank, LA Fitness and other planned uses to east and west of it. Given that this site does not front a public street, this driveway functions much like a street would abutting a property. To relate to this, a sidewalk is proposed along the west-side of the driveway, and a 15 ft. landscape buffer provided between the sidewalk and the proposed store. To accommodate for future development to the south of the site, the plan also provides conceptual detail of how a pad lot would appear when developed – to assure that the proposed layout is compatible with future businesses (Exhibit A).

2. Conformance to the city's zoning ordinance

The site is zoned B-2 (General Business). Tractor Supply Company is classified as a *Retail sales and service establishment* use which is permitted within the B-2 zone.

Per City Code Section 17.58.080, all materials, merchandise, etc., shall be stored within an opaquely screened wall or fence no less than 6 ft. tall. This plan provides for an 8 ft. screened wall around its outdoor storage area to meet the intent of this code section. The code also requires that merchandise offered for sale can be displayed beyond the confines of the fenced area; however, the area devoted to outdoor display shall not be greater than 10% of the floor area of the principal use, unless such merchandise is a type customarily displayed outdoors. This plan was reviewed to ensure that this section of the code was met. As a business with a lot of storage, sale, and display beyond their principal building, the Major Site Plan for this Tractor Supply store illustrates how this outdoor display will be handled in a manner that meets this code requirement.

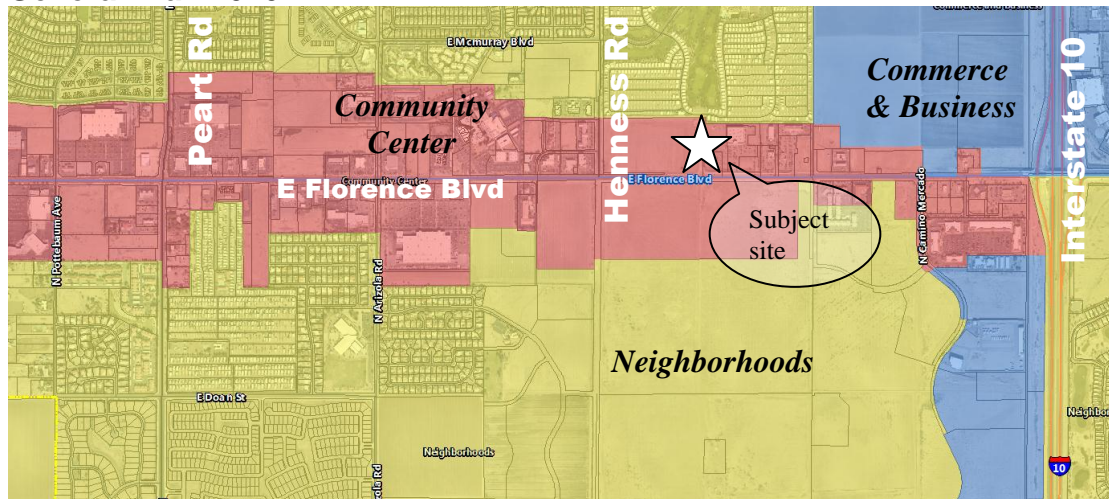
The building is 21,702 sq. ft. and provides 6,675 sq. ft. of outdoor display area. Because the code limits outdoor display of goods to an area not exceeding 10% of the floor area of the building unless the goods displayed are customarily sold outdoors, extra attention was spent to ensure that only 2,170 sq. ft. of this outdoor display area consisted of goods not customarily sold outdoors and the remaining area is allocated for items that are. City Staff and the applicant agreed on a list of items customarily sold at Tractor Supply Company determining which items would be considered customarily sold outdoors, therefore exempt from the 10% outdoor sale area limitation (Exhibit B). This detail has been further detailed on the site plan.

3. Conformance to the City's General Plan

The subject site is designated as *Community Center* in the City's General Plan 2020, which allows commercial uses, much like the *Commerce & Business* land use designation found within the General Plan. The main distinction of these two designations is how the form of commercial development is to appear within areas designated as *Community Center* vs. the form within *Commerce & Business*. The *Community Center* designation extends from downtown Casa Grande, along the Florence Blvd corridor to near the junction of Interstate 10. The purpose of this is to ensure that this is where the highest mixture of uses and activity is to be. As such, the *Community Center* land use designation promotes the design and layout of sites that relate more to pedestrians rather than the automobile. Access to buildings from the street should be conducive to pedestrian accessibility to establish a city form which is dense and urban vs. one that is suburban. An urban form is created when buildings are placed closer to streets because this creates a denser appearance and closer connectivity for people to walk rather than being exclusively reliant on automobiles.

Due to the size and nature of Tractor Supply Company, orienting this building closer to the street was problematic. If the building would have been sited immediately adjacent to Florence Blvd, there would be available land behind it for future development but there was concern that would leave this future development area not viewable to pedestrians or automobiles. Leaving a future pad site between Tractor Supply Company and Florence is more conducive to development such as a bank or restaurant, which can likely be better designed to meet the design intent of the *Community Center* form. The Major Site Plan provides for conceptual detail showing this future pad site between Tractor Supply Company and Florence, denoting where a future building can be placed. Staff feels that with the future placement of this building between the TSC store and Florence Blvd., the intent of the *Community Center* land use designation will be met.

General Plan 2020



4. The impact of the plan on the existing and anticipated traffic and parking conditions

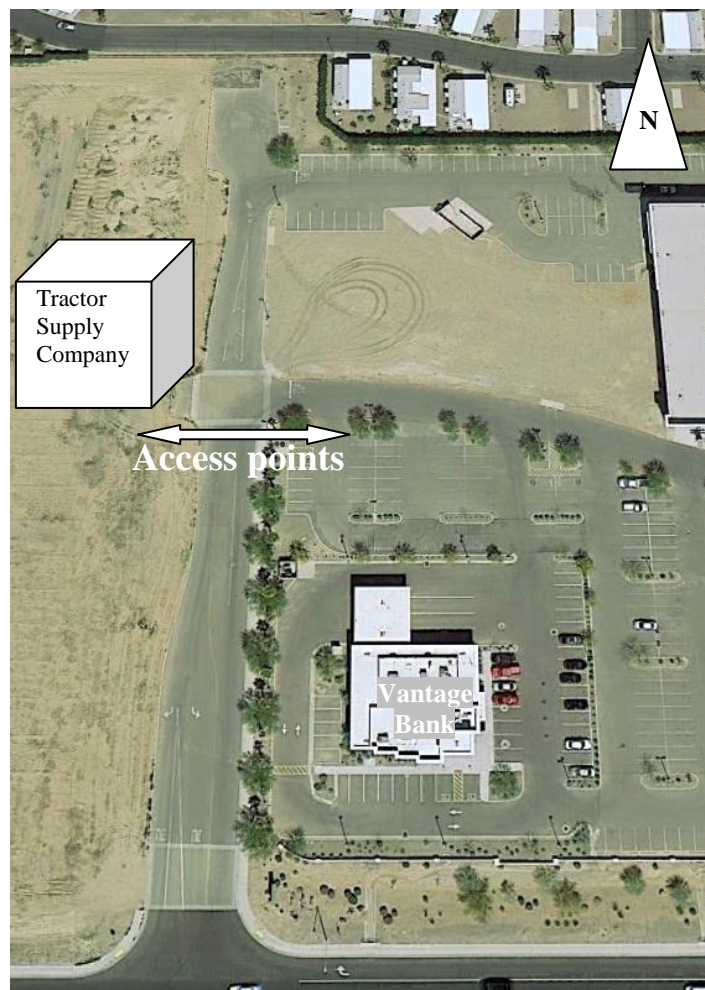
A Traffic Impact Analysis was prepared by United Civil Group for Tractor Supply Company analyzing the existing level of service provided by streets and access points impacted by the proposed development. Should the level of service worsen to an *E* or *F* classification, then steps would be required to mitigate this unacceptable level of service. The City Traffic Engineer did not require the TSC development to take any measures to mitigate the potential future unacceptable levels of service due to the fact that the TIA found that the existing right-turn and left-turn lanes at *The Commons at Palm Creek* development have adequate storage lengths to accommodate the increase in traffic from the proposed development. The study does recognize, however, that future steps will have to be taken by 2018 to address the LOS at these entryways. As Major Site Plans get submitted for additional development within the Commons at Palm Creek, their TIAs will determine what mitigation strategies will need to occur.

5. The adequacy of the plan with respect to land use

As this site lies within *Community Center* land use designation, the General Plan requires focus be placed on three aspects to Major Site Plan development: appropriate zoning, infrastructure and mobility, and spatial form/design. The existing B-2 zoning and Major Site Plan adequately accommodates the tenets of the land use designation by providing for a new sidewalk along the west side of the access drive, providing bicycle parking per the requirement of Major Site plan features, and allowing for future pad site development between the site and Florence to occur.

6. Pedestrian and vehicular ingress and egress

Currently the access drive has an access point to the undeveloped land that aligns with the access point to the east that serves the developed property where LA Fitness and Vantage Bank are located.



To accommodate the placement of the building, this access point will be eliminated on the Tractor Supply Company side of the drive aisle and a new access point further to the south is provided. Though access points often should be aligned for optimal flow of traffic through a site, this allows for future development to be constructed to the south accommodating the *Community Center* land use form. Also this departure of aligned access points was previously proposed on a formerly approved Major Site Plan when more intense development was proposed on the TSC site. Since this access drive terminates at the Palm Creek RV Park, just a few hundred feet to the north, and the site's primary users will come from the south, the need for aligned driveways isn't as necessary as if it were a continual road with traffic coming from both directions. Furthermore, the new access point provides for an aligned outlet to future development west of the Tractor Supply Company site.

A new 5 ft. wide sidewalk will be installed along the west-side of the driveway from Florence Blvd to Tractor Supply Company. This sidewalk is not on the Tractor Supply Company site, however, but is to be installed and maintained by the owner of access drive, per the terms of their CCRs per Pinal County Reception No. 2009-1091143. The sidewalk would require installation prior to a Certificate of Occupancy for the TSC building.

7. Building location and height

A 3.13-acre parcel will be created out of the 20.77-acre parcel; and providing proof of parcel creation prior to the issuance of building permit issuance is to be a condition of approval of this Major Site Plan. The location of the building is situated on the site so that the closest distances from the building to its proposed property lines are as follows:

Front setback: 35 ft. required, 120 ft. provided
Side setback: 0 ft. /15 ft. required, 25 ft. /75 ft. provided
Rear setback: 15 ft. required, 60 ft. provided.

The maximum height in the B-2 zone is 35 ft.; the proposed height of this building is 24 ft.

8. Landscaping

A preliminary landscape plan was provided and found to meet the landscaping criteria as set forth in the Article VI of 17.52 of the City Code (Exhibit C). A final landscape plan will be reviewed in conjunction with the review of the building permit. Commercial sites require two trees and five shrubs for every three parking spaces. 114 parking spaces are to be provided with 76 trees and 190 shrubs being provided as required. Landscape islands are also sufficiently provided, with landscaped islands provided every ten parking spaces. This site also provides a landscape area of 13.1% where only 10% is required. No

landscaping is proposed to be provided along Florence Blvd at this time, as the site does not abut Florence Blvd. The Florence Blvd. landscaping will be installed in conjunction with the development of the pad site that is located between Tractor Supply Company and Florence Blvd. A 15 ft. landscape buffer has been provided on the eastern edge of the Tractor Supply site between the store and the new sidewalk on the western side of the drive aisle. This matches the landscape buffer adjacent to the sidewalk on the opposite side of the drive aisle.

9. Lighting

A photometric plan has been submitted showing no bleed of light onto other sites (Exhibit D).

10. Provisions for utilities

Water is to be provided by Arizona Water, and waste water is to tie into the City of Casa Grande's sewer line. Both preliminary reports were found adequate by City Engineering and Public Works. Final design wastewater and water reports have been submitted in conjunction with the Site Development Permit, which is currently under review.

11. Site drainage/Grading

A preliminary drainage report has been submitted for the site as well as a grading and drainage plan (Exhibit E). There are outstanding review items that still need to be addressed. As a condition of approval, the following items must be resolved between the applicant and City Engineering prior to issuance of the building permit:

Drainage Report:

- a. C2 values listed in Table 1 are for "Hillslopes or Sonoran desert" and are not appropriate for this use. In particular, runoff coefficients for "Pad F" areas need to reflect future conditions at buildout.
- b. Revise Table 3, or provide a separate table, to reflect total required volumes and the actual volumes to be provided by design.

Drainage Plan:

- a. A sewer stub to Pad F should be provided for in these plans.
- b. Approval of water service plans must be obtained from Arizona Water Company. AZWC typically does not own and maintain onsite firelines, and requires that they be protected using appropriate backflow prevention devices. Ensure that the headloss through the device is such that minimum fireflow and pressure is available.
- c. Include labeling of retention basin useable-volumes to be provided as well as the required volumes.

- d. Provide elevations of existing scupper on Florence to confirm that it will flow into retention basin.
- e. Plans show a 1-foot “slope easement” along west property line – to who is this easement to be dedicated to, and for what reason? If this is not dedicated under Final Plat, please provide to the City documentation of the dedication.
- f. Plans show partial boundaries of a proposed drainage easement on the southwestern portion of the site –who is this easement to be dedicated to, and for what purpose?
- g. As the City does not maintain onsite retention systems, provide notation as to who will be the party responsible for maintaining retention basins and drywells.

12. Open space

N/A

13. Loading and unloading areas

Loading and unloading areas are provided behind the building. A mobile loading dock is detailed on the Major Site Plans and its Elevations (Exhibit F) to allow for more maneuverability at the rear of the building.

14. Signage

Signage is subject to an approved Comprehensive Sign Plan for the Commons at Palm Creek. Within this approved sign plan, a monument sign can be placed adjacent to Florence Blvd. The monument sign and wall signage will be reviewed per the terms of that sign plan at the time of sign permit submittal.

15. Screening

The placement of landscaping along the eastern edge of the site and along the property’s rear, northern boundary will screen the site for properties to the north and east; however, no screening is proposed at this time along Florence Blvd as this there is to be another parcel between the Tractor Supply Site and Florence Blvd.

16. Setbacks

No storage of any type shall be permitted within the one-half of the required front or side street setback neither nearest the street nor within any required interior side or rear setback. Also parking spaces are to be no closer than 3 ft. from the side and 4 ft. from front property lines. These setbacks, as well as the building setbacks as addressed under “*building location and height*”, above,

are met. The fenced storage areas, as well as the display areas, are outside of all setbacks.

17. Parking

The City Code requires that one parking space per 250 sq. ft. be provided for *retail sales and service establishments*, and one parking space 300 sq. ft. of outdoor sales and display areas. Fenced storage areas are permitted to have one parking space per 1,000 sq. ft. This results in the need to provide 114 parking spaces for this 21,000 sq. ft. retail building. 114 parking spaces have been provided. However, a pending code text amendment may result in a lowering of this required number, if approved by City Council.

18. Other related matters

At the time of this writing the applicant still needs to resolve the following minor technical corrections identified on a recent staff review letter:

- a. Though five wheel chair spaces are indicated in the parking table, only four wheel chair spaces are graphically shown on the plan. Please revise site plan to show five.
- b. On the site plan, revise note “5 ft. sidewalk to be constructed at the time of TSC development to be maintained by the Commons at Palm Creek” to read “5 ft. sidewalk to be constructed at the time of TSC development to be maintained per the terms found within the document recorded at reception number #2009-101143.” (Verify if that is the correct reception number)
- c. Place a note by the fenced outdoor area detail shown on the elevations page indicating that the elevation is the same on all sides as the east-side is not shown.

PUBLIC NOTIFICATION/COMMENTS

Notification:

Public hearing notification efforts for this request meet and exceed those requirements set out by City Code. They include:

- A notice was published in the Casa Grande Dispatch on January 20, 2015 for the February 5, 2015 Planning and Zoning Commission public hearing.
- Notice was mailed by the City of Casa Grande on January 20, 2015, fifteen days before the day of the hearing to each owner of property situated within 200 hundred feet of the subject property. The names and addresses of the owners were provided by the City of Casa Grande per Pinal County Ownership Data. An affidavit confirming this mailing was supplied by the City.

- A sign was posted by the Applicant by January 20, 2015 on the subject site. An affidavit confirming this posting has been supplied.

Inquiries/Comments

Staff has received no inquiries or comments.

RECOMMENDED MOTION

Staff recommends that approval of the Major Site Plan DSA-14-00192 with the following technical corrections and conditions:

Technical Corrections:

- a. Though five wheel chair spaces are indicated in the parking table, only four wheel chair spaces are graphically shown on the plan. Please revise site plan to show five.
- b. On the site plan, revise note “5 ft. sidewalk to be constructed at the time of TSC development to be maintained by the Commons at Palm Creek” to read “5 ft. sidewalk to be constructed at the time of TSC development to be maintained per the terms found within the document recorded at reception number #2009-101143.” (Verify if that is the correct reception number)
- c. Place a note by the fenced outdoor area detail shown on the elevations page indicating that the elevation is the same on all sides as the east-side is not shown.

Conditions:

1. Proof of parcel creation for the Tractor Supply Company site in accordance with the Major Site Plan shall be provided prior to the issuance of a building permit.
2. The sidewalk on the west side of the Commons at Palm Creek driveway be installed prior to a Certificate of Occupancy for the TSC building.
3. Revise the Drainage Report to be reviewed by the City Engineer that satisfactorily addresses the following:
 - a. C2 values listed in Table 1 are for “Hillslopes or Sonoran desert” and are not appropriate for this use. In particular, runoff coefficients for “Pad F” areas need to reflect future conditions at buildout.

- b. Revise Table 3, or provide a separate table, to reflect total required volumes and the actual volumes to be provided by design.
- 4. Revise Drainage Plan to be reviewed by the City Engineer that satisfactorily addresses the following:
 - a. A sewer stub to Pad F should be provided for in these plans.
 - b. Approval of water service plans must be obtained from Arizona Water Company. AZWC typically does not own and maintain onsite firelines, and requires that they be protected using appropriate backflow prevention devices. Ensure that the headloss through the device is such that minimum fireflow and pressure is available.
 - c. Include labeling of retention basin useable-volumes to be provided as well the required volumes.
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 - g. As the City does not maintain onsite retention systems, provide notation as to who will be the party responsible for maintaining retention basins and drywells.

Exhibits

Exhibit A- Major Site Plan
Exhibit B- List of outdoor items sold
Exhibit C- Landscape Plan
Exhibit D- Photometric Plan
Exhibit E- Grading & Drainage Plan
Exhibit F- Elevations

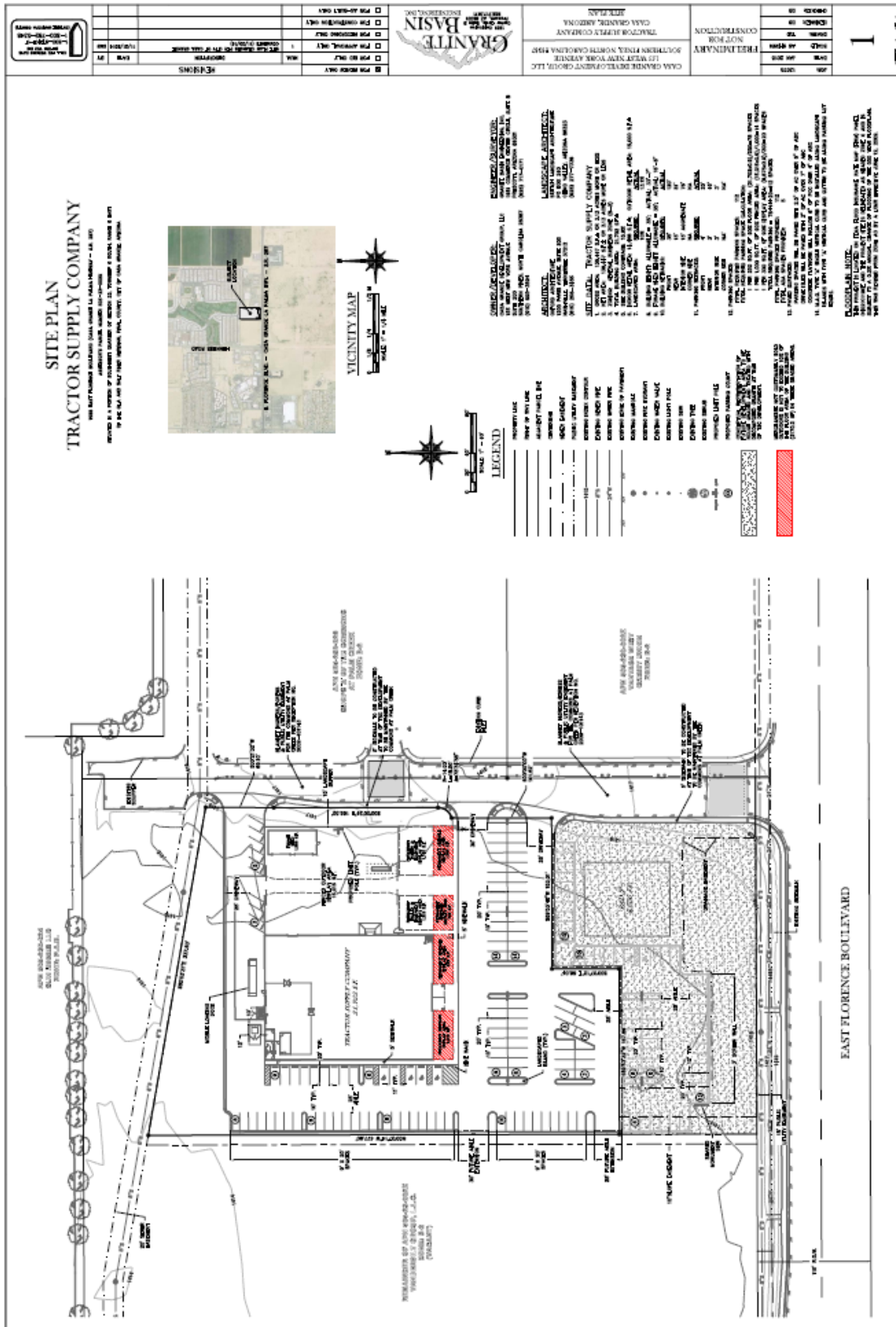


Exhibit B – List of Outdoor Items Sold

The list below are typical items on outdoor display at Tractor Supply, but not limited to these items. The merchandise in bold, below, represents typical items limited to an outdoor display area not to exceed ten percent of the floor area of the building

Items Typically Displayed in the Permanent Trailer and Equipment Display Areas: The following items may not appear in all stores as merchandise mix varies by region and by season.

A. TRAILERS

Open Trailers
Closed Trailers

B. 3-POINT EQUIPMENT

Plows	Fertilizer Spreaders	Seeder
Box/Grader Blades	Cultivators	Bale Carriers
Rakes	Harrows	Sprayers w/tanks
Scoops	Tillers	Rotary Cutters
Finish Mowers		

Items Typically Displayed in the Permanent Sidewalk Display Areas: The following items may not appear in all stores as merchandise mix varies by region and by season.

A. LAWN AND GARDEN EQUIPMENT

Push Lawn Mowers	Chippers and Shredders
Riding Lawn Mowers	Log Splitters
Garden Carts	Mow-n-Vacs
Snow Blowers	All-Terrain Vehicles/Utility Vehicles

B. FENCING MATERIALS

Gates – small selection may show seasonally

C. PET AND LIVESTOCK EQUIPMENT

Dog Kennels
Dog Houses

D. 3-POINT EQUIPMENT

Plows	Fertilizer Spreaders	Seeder
Box/Grader Blades	Cultivators	Bale Carriers
Rakes	Harrows	Sprayers w/tanks
Scoops	Tillers	Rotary Cutters
Finish Mowers		

E. MISCELLANEOUS/SEASONAL

Go Karts	Pedal Boats	Dirt Bikes
Wheel Barrows	Bagged Pine Shavings	Bulk Propane
Bagged Feed	Bagged Fertilizer	Tool Rental

* Bold = outdoor display items that are limited to an area not to exceed ten percent of the ground floor area of the building.

Exhibit C – Landscape Plan

[illegible]

Benjamin Graydon: 7 Coughs in 17, 5 normal Cough Risk, Or approved equal. Plus is ☒ During stress.
Note: 1" For normal Cough Risk to be closed or closed greater than 4.1 is 4.1 multiple stress. ☒ Above
greater than 3.1 to be treated with approved or approved control.

CASA GRANDE LANDSCAPE CALCULATIONS

SITE INFORMATION	
APN	985-23-000X
GROSS AREA	± 136,447 SF (3.13 ACRES)
ZONING	B-2
LANDSCAPE AREA	REQUIRED: 10%; PROVIDED: 13.1%

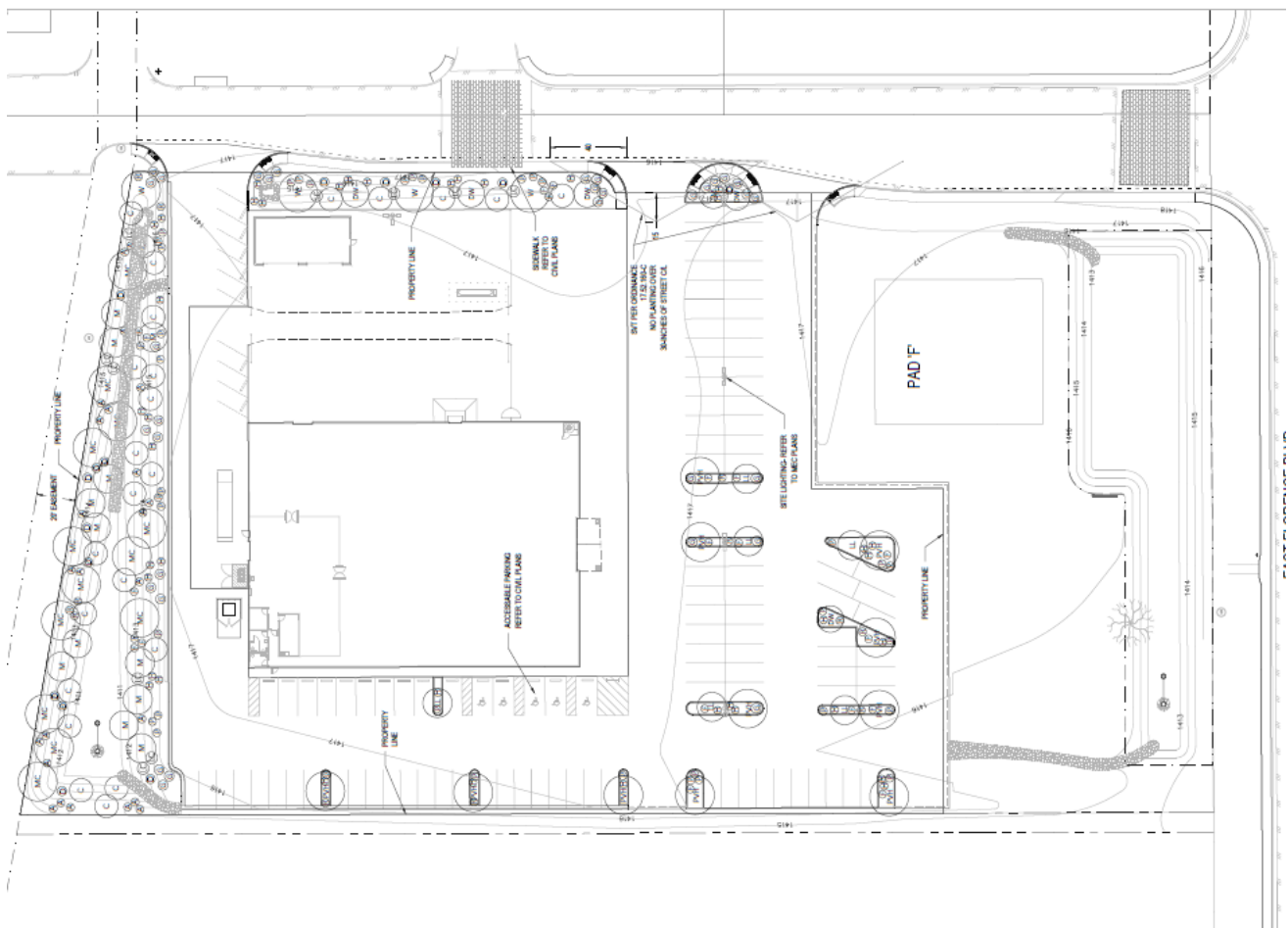
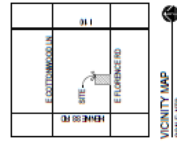
MINIMUMS:

REQUIRED:
(2) TREES, (5) SHRUBS PER EVERY 2 PARKING SPACES
TOTAL PARKING SPACES PROVIDED:
(114) PARKING SPACES= (76) TREES, (190) SHRUBS
PROVIDED:
(76) TREES, (190) SHRUBS

LANDSCAPE NOTES

[illegible]

TRACTOR SUPPLY COMPANY GENERAL LANDSCAPE NOTES

[illegible]

Label	Age	Sex	Men	Age/Men	Max/Men
First Reading	1.67	2.7	0.4	3.35	6.75
Second Reading	1.55	3.5	0.2	4.65	17.60
Third Reading	0.85	3.5	0.0	N/A	N/A
First 2nd Reading	0.87	2.1	0.0	N/A	N/A
Second Reading	1.42	3.8	0.2	4.17	13.20

NOTE: SCHEDULE 40 PERFORATING 14" X 20" X 1/2" SQUARE STEEL POLES

(1) STD. 114 (SINGLE) TENSION
(2) STD. 214 (100) (DBL. TENSION AT 100)
(3) STD. 344 (80) (TRIP. TENSION AT 80)

PROPOSED POLES WIND 115 MPH, SUSTAINED WINDS

* COEFFICIENT BY OTHERS CALCULATED AT INITIAL LUMEN VALUE

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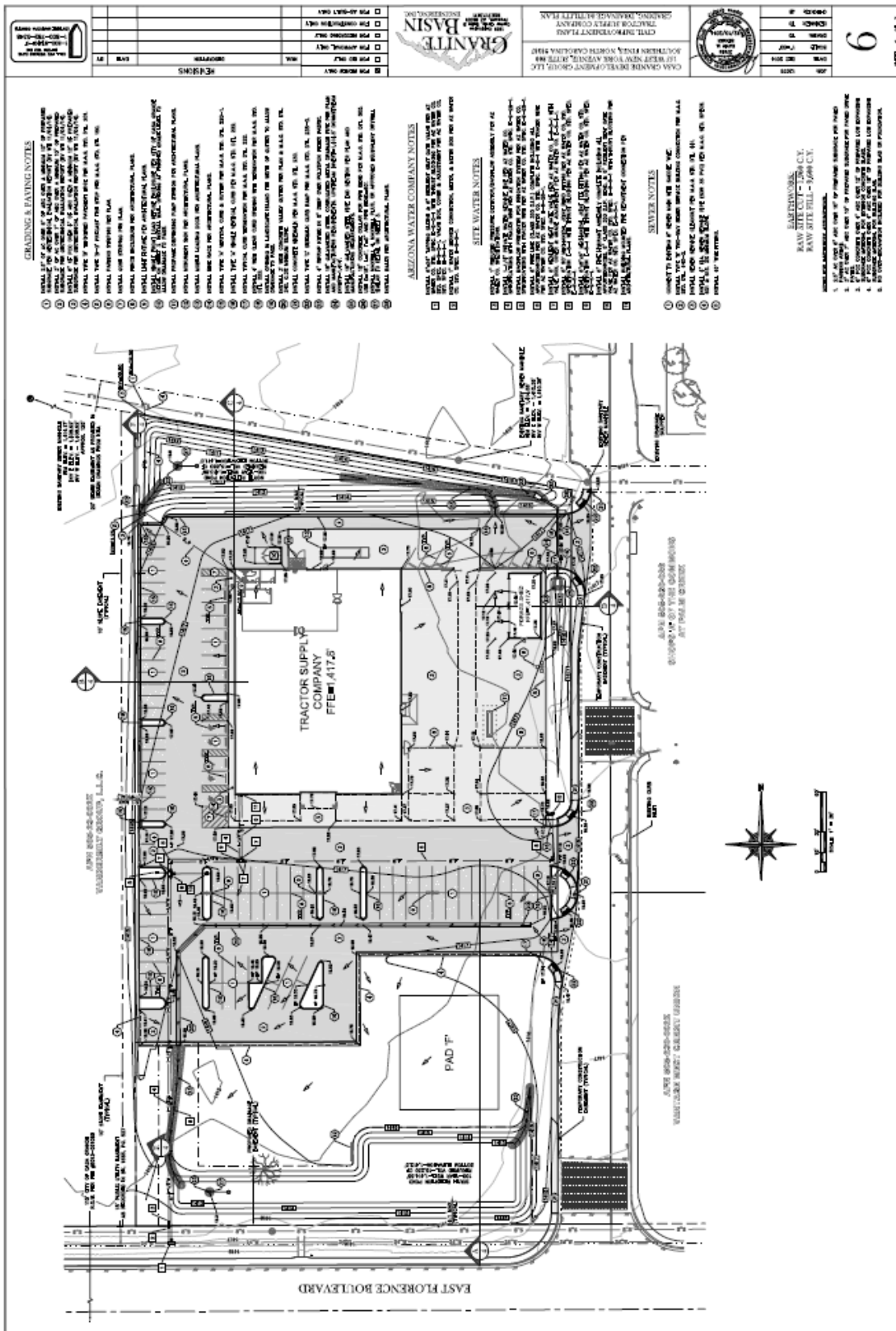
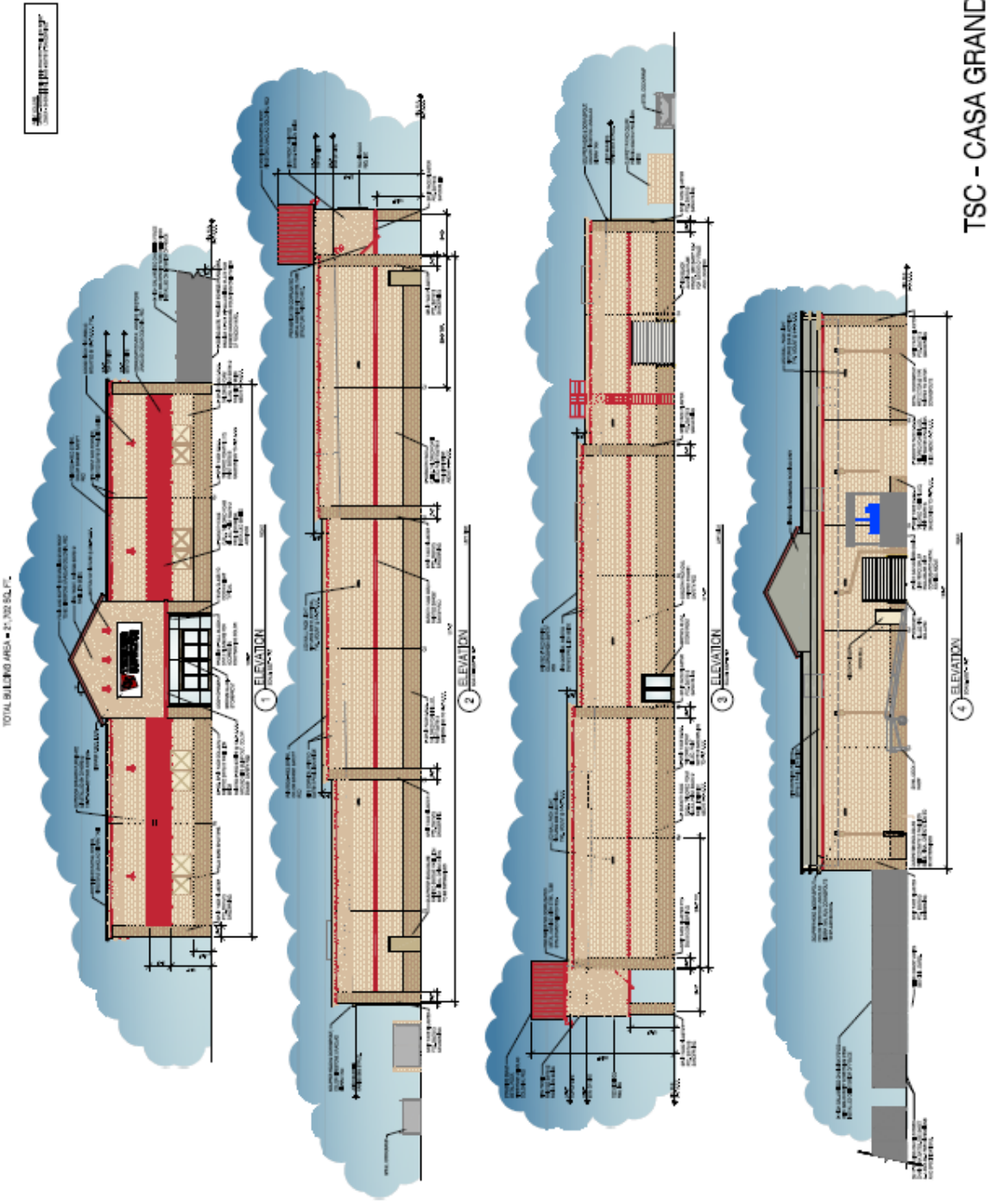


Exhibit F - Elevations



TSC - CASA GRANDE, AZ

